

THE CORPORATION OF THE TOWN OF WASAGA BEACH

BY-LAW NO. 2025-35

A By-law to amend Town of Wasaga Beach Comprehensive Zoning By-law No. 2003-60, as amended

WHEREAS pursuant to Section 34 of the *Planning Act*, R.S.O., 1990, c. P.13, as amended, the Council of the Town of Wasaga Beach has passed a comprehensive Zoning By-law No. 2003-60 for the Town of Wasaga Beach;

AND WHEREAS an application to amend By-Law No. 2003-60 has been received with respect to lands described as PLAN 740 LOT 18, PLAN 740 PT LOT 19 RP;51R37561 PART 2 & PLAN 740 PT LOT 19 RP; 51R37561 PART 1 municipally addressed as 274 Coastline Drive, 5 John Street & Tax Roll # 436401001040207, in the Town of Wasaga Beach, County of Simcoe;

AND WHEREAS Section 34 of the *Planning Act*, R.S.O., 1990, c. P.13, as amended, permits a Council to pass a by-law that prohibits the use of lands, buildings or structures within a defined area or areas;

AND WHEREAS Section 24(2) of the *Planning Act*, R.S.O., 1990, c. P.13, as amended, permits a Council to pass a by-law that does not conform with the Official Plan but will conform with it when an amendment to the Official Plan comes into effect;

AND WHEREAS pursuant to Section 34(17) of the *Planning Act*, R.S.O., 1990, c. P.13, as amended, Council determines that no further notice is required in respect of the proposed by-law;

AND WHEREAS Council deems it advisable and expedient to amend Zoning By-Law No. 2003-60;

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF WASAGA BEACH HEREBY ENACTS AS FOLLOWS:

- 1.0 That Schedule "O" to Zoning By-law 2003-60, as amended, is hereby further amended by rezoning the subject lands, from the Residential Type 1 (R1) Zone to the Residential Type 2 Exception - 26 (R2-26) Zone, as shown on Schedule "A-1" attached hereto and forming part of this By-law.
- 2.0 That Subsection 5.4.26 Zone Exceptions, of Section 5, Residential Type 2 (R2)

Zone, of Zoning By-law 2003-60, is hereby amended by adding the following subsection 5.4.26:

“5.4.26 R2-26 Zone Schedule “O”

Section 5.3, Zone Provisions, applies to the lands zoned R2-26, except where specifically identified below:

Semi-Detached Dwelling Unit

- Minimum Lot Frontage per lot/unit shall be 7.7 metres;
- Minimum Front Yard Depth shall be 5.40 metres;
- Minimum Front Yard Depth shall be 4.65 metres, when measured from the daylight triangle;
- Minimum Lot Area per lot/unit shall be 240 square metres;
- Minimum Exterior Side Yard Width shall be 3.3 metres;
- Minimum Interior Side Yard Width (exposed side wall to lot line) shall be 1.4 metres;
- Maximum Height of Building shall be 12.3 metres (inclusive of the Mechanical Penthouse);
- Maximum Number of Storeys shall be three;
- The Mechanical Penthouse component has a total height of 2.87 metres and shall include the elevator and stair overruns;
- Notwithstanding the Yard Encroachment requirements outlined under Sections 3.3.4, 3.3.5 & 3.3.6 of the Town’s Zoning By-Law Porches, Balconies and Steps and Accessibility Ramps may project a maximum distance of 2.50 metres into the required front yard setback

6. THAT Schedule ‘A-1’ shall form part of this By-law.

7. THAT all other respective provisions of Zoning By-law 2003-60, as amended, shall apply.

8. THAT this By-law shall come into force and effect in accordance with the provisions of the *Planning Act*, R.S.O., 1990, c. P.13., subject to Section 24(2) of the *Planning Act*, R.S.O., 1990, c. P.13.

**READ A FIRST, SECOND AND THIRD TIME AND FINALLY PASSED THIS 14TH
DAY OF AUGUST, 2025.**

THE CORPORATION OF THE TOWN OF WASAGA BEACH

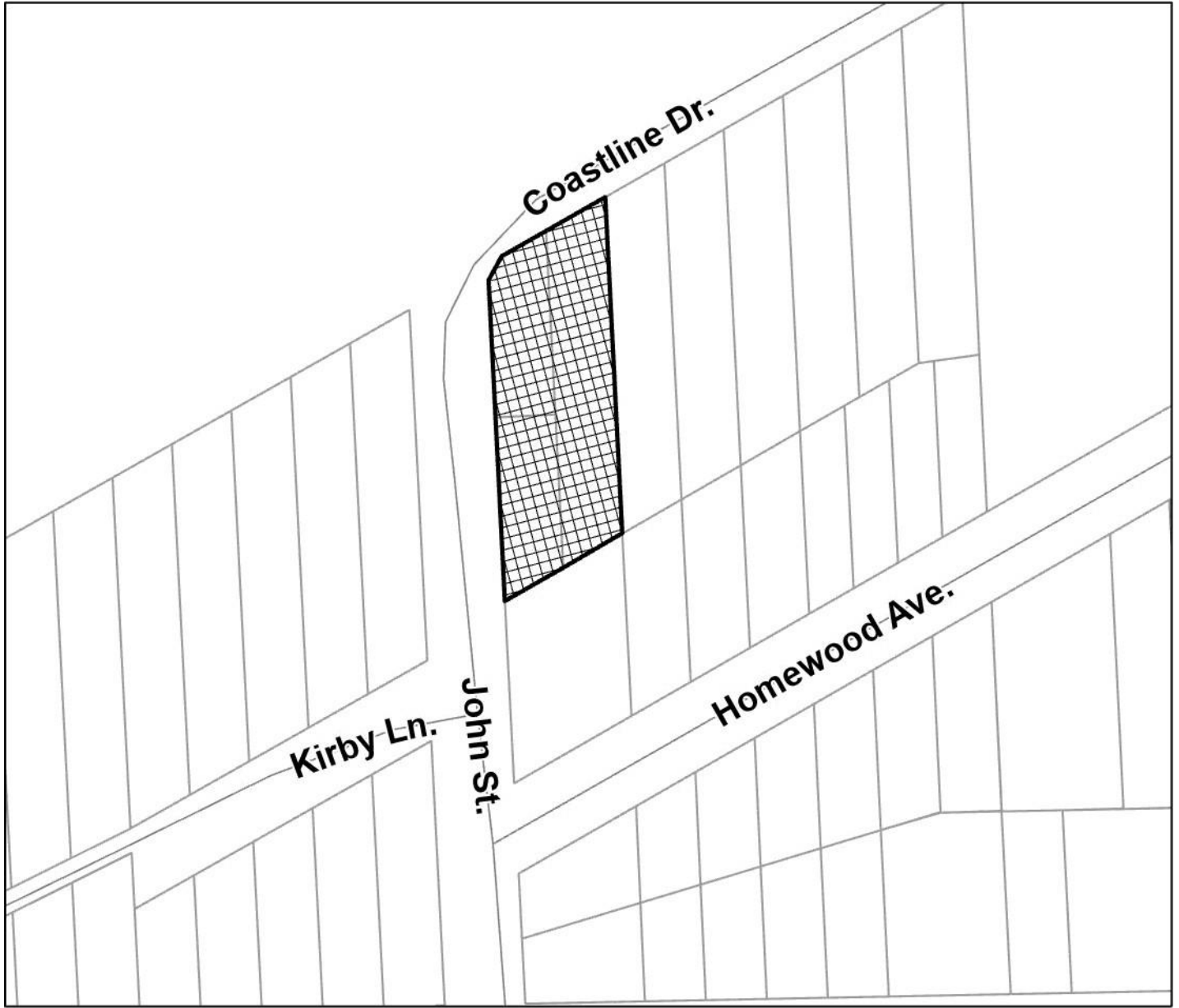
Brian Smith, Mayor

Nicole Rubli, Clerk



Town of Wasaga Beach

Schedule 'A-1'



Lands to be Rezoned from R1 to R2-26

This is Schedule 'A' to By-Law 2025-35
Passed the 14 day of August 8, 2025
Signatures of Signing Officers

Mayor _____

Clerk _____

