

# THE CORPORATION OF THE TOWN OF WASAGA BEACH

## BY-LAW NO. 2024-82

A By-law to amend Town of Wasaga Beach Comprehensive Zoning  
By-law No. 2003-60, as amended

**WHEREAS** pursuant to Section 34 of the *Planning Act*, R.S.O., 1990, as amended, the Council of the Town of Wasaga Beach has passed a Comprehensive Zoning By-law No. 2003-60 for the Town of Wasaga Beach;

**AND WHEREAS** an application to amend By-Law No. 2003-60 has been received with respect to lands described as Flos Plan 887 Pt Lot 18 RP;51R34593 Part 2 & Flos Con 10 W Pt Lot 22 RP;51R32439 Part 4 RP 51R37840;Part 1 known as 929 River Road East and 931 River Road East, in the Town of Wasaga Beach, County of Simcoe;

**AND WHEREAS** Section 34 of the Planning Act, R.S.O., 1990, c. P.13, as amended, permits a Council to pass a by-law that prohibits the use of lands, buildings or structures within a defined area or areas;

**AND WHEREAS** pursuant to Section 34(17) of the Planning Act, R.S.O., 1990, Council determines that no further notice is required in respect of the proposed by-law;

**AND WHEREAS** Council deems it advisable and expedient to amend Zoning By-law No. 2003-60;

**NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF WASAGA BEACH HEREBY ENACTS AS FOLLOWS:**

1. THAT Schedule "T" to By-law 2003-60, as amended, is hereby amended by re-zoning portions of the subject lands from the Residential Type One (R1) Zone, Development (D) Zone and Environmental Protection (EP) Zone to the Residential Type One – Exception 40 (R1-40) Zone, the Residential Type One - Exception 41 (R1-41) Zone, and the Environmental Protection (EP) Zone as shown on Schedule 'A' attached hereto.
2. THAT Section 4.4 of Zoning By-law No. 2003-60 is amended by adding the following Section to create a new exception zone, as follows:

"4.4.40 R1-40 Zone Schedule "T"

- The minimum lot area shall be 437 square metres, for a lot served by a public water system and a sanitary sewer system.

3. THAT Section 4.4 of Zoning By-law No. 2003-60 is amended by adding the following Section to create a new exception zone, as follows:

“4.4.41 R1-41 Zone Schedule “T”

- The minimum lot frontage shall be 7 metres, for a lot served by a public water system and a sanitary sewer system.
- The minimum rear yard setback shall be 5 metres.

4. THAT Schedule ‘A’ shall form part of this By-law
5. THAT all other respective provisions of Zoning By-law 2003-60, as amended, shall apply.
6. THAT this By-law shall come into force and effect in accordance with the provisions of the *Planning Act*, R.S.O., 1990 c.P.13.

**READ A FIRST, SECOND AND THIRD TIME AND FINALLY PASSED THIS 14<sup>th</sup> DAY OF NOVEMBER, 2024.**

**THE CORPORATION OF THE TOWN OF WASAGA BEACH**

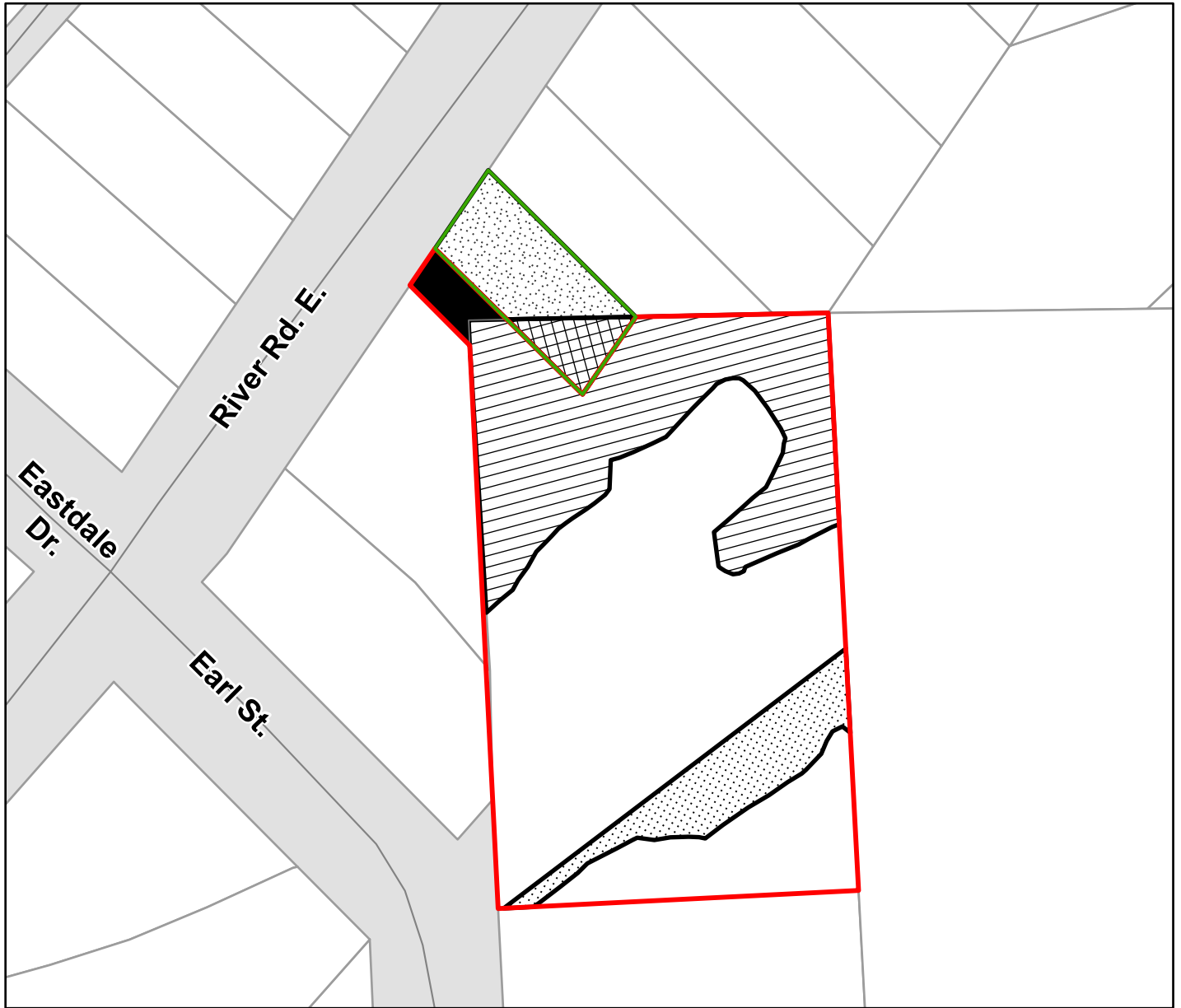
\_\_\_\_\_  
Brian Smith, Mayor






\_\_\_\_\_  
Nicole Rubli, Clerk



# Town of Wasaga Beach

## Schedule 'A'



-  Lands to be Rezoned from EP to R1-40
-  Lands to be Rezoned from R1 to R1-40
-  Lands to be Rezoned from EP to R1-41
-  Lands to be Rezoned from R1 to R1-41
-  Lands to be Rezoned from D to EP

This is Schedule 'A' to By-Law \_\_\_\_\_  
Passed the \_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.  
Signatures of Signing Officers

Mayor \_\_\_\_\_

Clerk \_\_\_\_\_

