

**THE CORPORATION OF THE TOWN OF WASAGA BEACH**

**BY-LAW NO. 2024-18**

A By-law to amend Town of Wasaga Beach Comprehensive Zoning By-law No. 2003-60, as amended

**WHEREAS** pursuant to Section 34 of the *Planning Act*, R.S.O., 1990, c. P.13, as amended, the Council of the Town of Wasaga Beach has passed a comprehensive Zoning By-law No. 2003-60 for the Town of Wasaga Beach;

**AND WHEREAS** an application to amend By-Law No. 2003-60 has been received with respect to lands described as PLAN 674 PT LOTS 21 AND 22; RP 51R38176 PART 1, PART 2 and PART 3; PLAN 674 PT LOT 23 RP; 51R38199 PART 1; PLAN 674 PT LOT 24 RP; 51R38199 PART 2; PLAN 674 LOT 25 W PT LOT 26; and PLAN 674 E PT LOT 26, and municipally addressed as 15, 17 and 19 18th Street North, 305, 313 and 315 Shore Lane and 722 Mosley Street in the Town of Wasaga Beach, County of Simcoe;

**AND WHEREAS** Section 34 of the *Planning Act*, R.S.O., 1990, c. P.13, as amended, permits a Council to pass a by-law that prohibits the use of lands, buildings or structures within a defined area or areas;

**AND WHEREAS** Section 24(2) of the *Planning Act*, R.S.O., 1990, c. P.13, as amended, permits a Council to pass a by-law that does not conform with the Official Plan but will conform with it when an amendment to the Official Plan comes into effect;

**AND WHEREAS** pursuant to Section 34(17) of the *Planning Act*, R.S.O., 1990, c. P.13, as amended, Council determines that no further notice is required in respect of the proposed by-law;

**AND WHEREAS** Council deems it advisable and expedient to amend Zoning By-Law No. 2003-60;

**NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF WASAGA BEACH HEREBY ENACTS AS FOLLOWS:**

1. THAT Schedule 'H' to By-law 2003-60 as amended is hereby further amended by re-zoning the subject lands from the Residential Type 1 (R1) Zone to the Residential Type 3 Exception 48 (R3-48) Zone, as shown on Schedule 'A' attached hereto.

2. THAT Section 6.4 of Zoning By-law 2003-60 is amended by adding the following Section to create a new exception zone, as follows:

“6.4.48 R3-48 Zone, Schedule ‘H’

Notwithstanding Sections 6.3.1 a), 6.3.2 a), 6.3.3, 6.3.4, 6.3.5 b) ii) and iii), 6.3.6, 6.3.8, 6.3.9 a), 6.3.11, and 6.3.13 of the Residential Type 3 (R3) Zone, and Sections 3.3.4, 3.3.5, 3.3.6, and 3.38.2.10 of the General Provisions, the following provisions apply:

Street Townhouse Dwelling Unit

Lot Area (minimum) shall be 145 sq. m; Lot Frontage (minimum) shall be 6.5 metres; Front Yard Depth (minimum) shall be 2.8 metres; Exterior Side Yard (minimum) shall be 3.0 metres from the exterior side wall to a parallel lot line and 1.8 metres from the exterior side wall to the daylight triangle; Interior Side Yard (minimum) to an exposed end or side wall shall be 1.3 metres; Interior Side Yard (minimum) to an exposed end or side wall abutting an R1 Zone shall be 1.39 metres; Rear Yard Depth (minimum) shall be 4.4 metres to the dwelling and 6.0 metres to the garage; Landscaped Open Space (minimum) shall be 24%; Lot Coverage (maximum) shall be 68%; Width Per Unit (minimum) shall be 6.5 metre; and no play area shall be required.

Porches / Verandas shall be setback a minimum of 0.90 metres from a daylight triangle; Porches / Verandas, Balconies, steps and/or accessibility ramps may project into any required front and rear yard a maximum distance of 1.55 metres and Porches shall not exceed an area of 5.0 sq. metres; and driveways may be established along an interior side lot line internal to the R3-48 Zone with a 0.0 metre setback.

3. THAT Schedule ‘A’ shall form part of this By-law.
4. THAT all other respective provisions of Zoning By-law 2003-60, as amended, shall apply.

5. THAT this By-law shall come into force and effect in accordance with the provisions of the *Planning Act*, R.S.O., 1990, c. P.13., subject to Section 24(2) of the *Planning Act*, R.S.O., 1990, c. P.13.

**READ A FIRST, SECOND AND THIRD TIME AND FINALLY PASSED THIS  
29<sup>th</sup> DAY OF FEBRUARY, 2024.**

**THE CORPORATION OF THE TOWN OF WASAGA BEACH**

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Brian Smith, Mayor

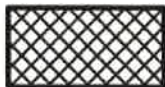
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Nicole Rubli, Director, Legislative Services & Clerk



# Town of Wasaga Beach

## Schedule 'A'



Residential Type 1 (R1) to the Residential Type 3 Exception 48 (R3-48)

This is Schedule 'A' to By-Law \_\_\_\_\_  
Passed the \_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.  
Signatures of Signing Officers

Member \_\_\_\_\_

Member \_\_\_\_\_

